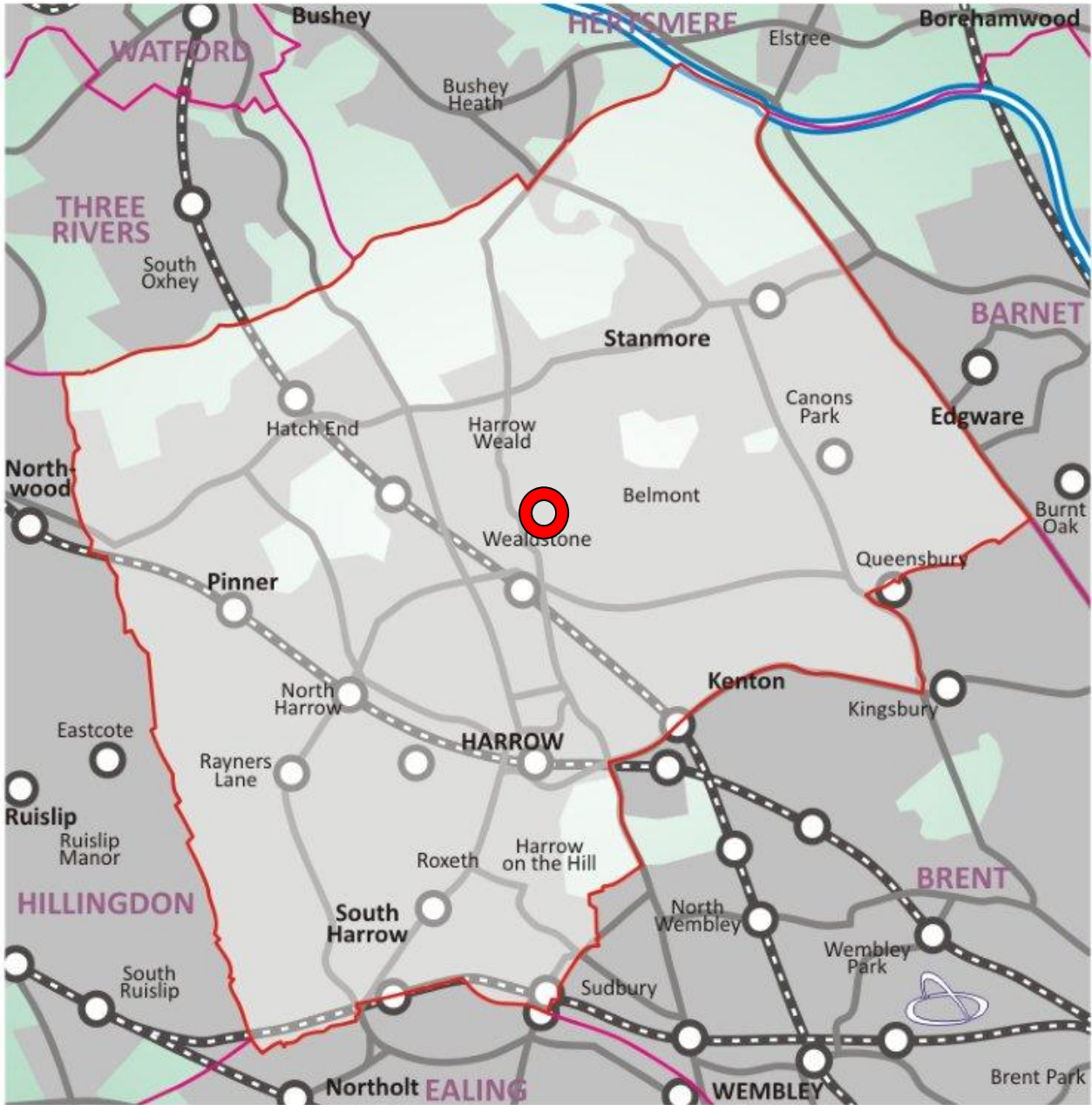
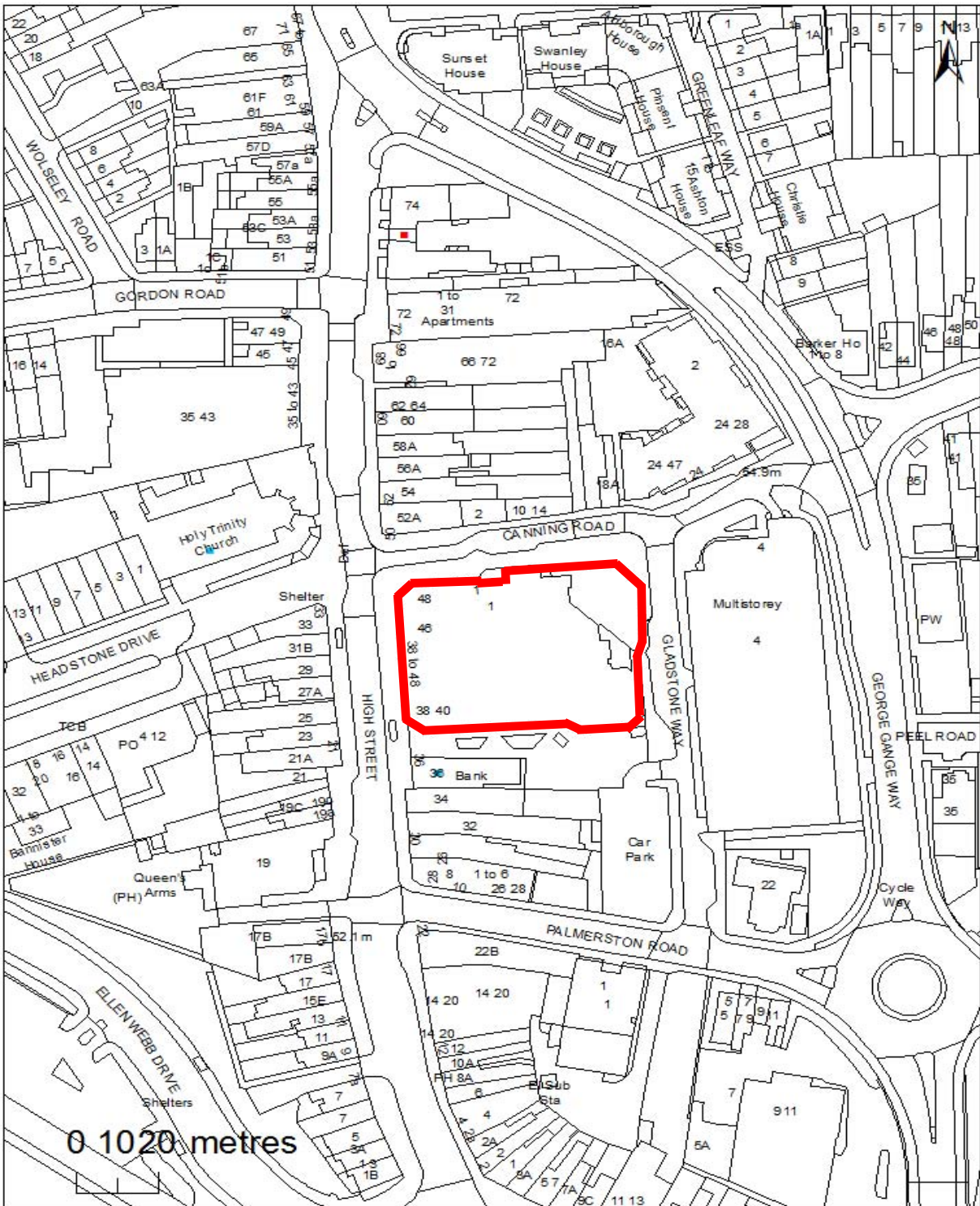


 = application site



Part Second and Third Floors, Premier House, Canning Road, Wealdstone	P/3123/17
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Part Second and Third Floors, Premier House, Canning Road, Wealdstone **P/3123/17**

LONDON BOROUGH OF HARROW

PLANNING COMMITTEE

27th September 2017

APPLICATION NUMBER: P/3123/17
VALIDATE DATE: 15TH AUGUST 2017
LOCATION: PART SECOND AND THIRD FLOORS, PREMIER HOUSE, CANNING ROAD, WEALDSTONE
WARD: WEALDSTONE
POSTCODE: HA3 7TS
APPLICANT: MR JANANI
AGENT: DANDI LIVING LTD
CASE OFFICER: NABEEL KASMANI
EXTENDED EXPIRY DATE: 27TH SEPTEMBER 2017

PURPOSE OF REPORT/PROPOSAL

The purpose of this report is to set out the Officer recommendations to the Planning Committee regarding an application for planning permission relating to the following proposal.

Change of use of existing class D1 use on part second and third floors to 22 single occupancy collective living units with shared facilities on each floor (sui generis); provision of refuse/recycling facilities and cycle parking

The Planning Committee is asked to:

RECOMMENDATION A

- 1) agree the reasons for approval as set out in this report, and
- 2) Grant planning permission subject to the Conditions listed in Appendix 1 of this report
- 3) The completion of a Section 106 agreement with the heads of terms set out below by 15th December 2017 (or such extended period as may be agreed in writing by the Divisional Director of Planning). Delegated Authority to be given to the Divisional Director of Planning in consultation with the Director of Legal and Governance Services for the sealing of the Section 106 agreement and other enabling legislation and to agree any minor amendments to the conditions or the legal agreement. The Section 106 Agreement Heads of Terms would cover the following matters:

Management and Tenure Strategy

The submission of a management and tenure strategy to include the following;

- Tenancy Agreement - Length of stay:

- a. Minimum of 3 months (unless to fill in a void period).
 - b. Maximum of 3 years.
- No more than one person can lease/occupy a bedroom.
- Obligatory linen changing service will occur bi-weekly.
- Obligatory cleaning service will occur bi-weekly.
- Availability of shared facilities for all occupants will typically include:
 - a. kitchen
 - b. lounge
 - c. library
 - d. laundry room
- On site manager available
- Receptionist/Concierge service available for all occupiers between 8pm and 8am, 365 days a year.

Transport and Highways

The development to be 'resident permit restricted' and the developer to ensure that: (i) all marketing/advertising material makes reference to the fact that; and (ii) all lettings agreements contain a covenant to the effect that; future occupiers and tenants (other than those that are registered disabled) will not be entitled to apply for a residents parking permit or a visitor parking permit.

Legal Fees

Payment of Harrow Council's reasonable costs in the preparation of the legal agreement

Planning Administration Fee

A £500 fee payable to the Local Planning Authority for monitoring of compliance with the agreement

RECOMMENDATION B

That if the Section 106 Agreement is not completed by 15th December 2017, or as such extended period as may be agreed by the Divisional Director of Regeneration, in consultation with the Chair of the Planning Committee, then it is recommended to delegate the decision to REFUSE planning permission to the Divisional Director of Regeneration, Enterprise and Planning on the grounds that:

The proposed development in conjunction with the cumulative impact of development within the Harrow and Wealdstone Town Centre, in the absence of a Legal Agreement to provide appropriate management and controls that directly relate to the development, would compromise the quality and objectives of the new housing product and would and would result in a detrimental impact on the capacity and safety of the Highway network, contrary to the National Planning Policy Framework (2012), policies 3.3, 3.5, 3.8, 3.9, 6.3, 6.11, 6.12 and 6.13 of The London Plan (2015), Core Strategy (2012) policy CS1 and policies DM1, 42, DM 43 and DM 50 of the Harrow Development Management Polices Local Plan, Policy AAP 19 of the Harrow and Wealdstone Area Action Plan (2013) and the Supplementary Planning Document: Planning Obligations (2013)

REASON FOR THE RECOMMENDATIONS

Officers consider that the proposal would contribute to a strategically important part of the housing stock within the Borough and would make a positive contribution to the town centre environment, consistent with the regeneration aspirations of the opportunity area. The proposed development would have a satisfactory impact on the character of the area, the amenities of existing neighbouring occupiers and future occupiers of the development. Officers also consider that the proposal would not have a detrimental impact on the functioning or safety of the highway. For these reasons, weighing up the development plan policies and proposals, and other material considerations including comments received in response to notification and consultation as set out below, it is considered that the development is justified in this instance and the application is recommended for grant.

INFORMATION

This application is reported to Planning Committee the change in use of floorspace would exceed 400m² set by category 1(f) of the Council's Scheme of Delegation for determination

Statutory Return Type:	Minor Development
Council Interest:	The Council holds a lease on the ground floor of Premier House
GLA Community Infrastructure Levy (CIL) Contribution (provisional):	£18,900
Local CIL requirement:	£59,400

HUMAN RIGHTS ACT

The provisions of the Human Rights Act 1998 have been taken into account in the processing of the application and the preparation of this report.

EQUALITIES

In determining this planning application the Council has regard to its equalities obligations including its obligations under section 149 of the Equality Act 2010.

For the purposes of this application there are no adverse equalities issues.

S17 Crime & Disorder Act

Policies 7.3.B and 7.13.B of The London Plan and Policy DM1 of the Development Management Policies Local Plan require all new developments to have regard to safety and the measures to reduce crime in the design of development proposal. It is considered that the development does not adversely affect crime risk. The proposed site is adjoined by residential units and fronts a classified road. The school therefore receives very good levels of natural surveillance. The site will be protected by a secure line which will prevent people gaining access into the site unless through the designated entrance. An informative has been attached to encourage that the Secured

by Design accreditation is obtained.

LOCAL GOVERNMENT (ACCESS TO INFORMATION) ACT 1985
BACKGROUND PAPERS USED IN PREPARING THIS REPORT:

- Planning Application
- Statutory Register of Planning Decisions
- Correspondence with Adjoining Occupiers
- Correspondence with Statutory Bodies
- Correspondence with other Council Departments
- Nation Planning Policy Framework
- London Plan
- Local Plan - Core Strategy, Development Management Policies, SPGs
- Other relevant guidance

LIST OF ENCLOSURES / APPENDICES:

Officer Report:

Part 1: Planning Application Fact Sheet

Part 2: Officer Assessment

Appendix 1 – Conditions and Informatives

Appendix 2 – Site Plan

Appendix 3 – Site Photographs

Appendix 4 – Plans and Elevations

Appendix 5 - Floor Plans of Approved Residential Uses

OFFICER REPORT

PART 1: Planning Application Fact Sheet

The Site	
Address	Part second and third floors, Premier House, Canning Road, Wealdstone, HA3 7TS
Applicant	Mr Janani
Ward	Wealdstone
Local Plan allocation	n/a
Conservation Area	n/a
Listed Building	n/a
Setting of Listed Building	n/a
Building of Local Interest	In the setting of the locally listed Holy Trinity Church and No. 36 High Street
Tree Preservation Order	n/a
Other	Located within a Critical Drainage Area and the frontage of the site is located within fluvial and surface water flood zones 2 and 3.

Housing		
	PTAL	6a
	London Plan Density Range	n/a – alternative housing product

Transportation		
Car parking	No. Existing Car Parking spaces	0
	No. Proposed Car Parking spaces	0
	Proposed Parking Ratio	n/a
Cycle Parking	No. Existing Cycle Parking spaces	0
	No. Proposed Cycle Parking spaces	22
	Cycle Parking Ratio	1:1
Public Transport	PTAL Rating	6a
	Closest Rail Station / Distance (m)	Harrow and Wealdstone Station is approximately 200 metres away
	Bus Routes	140, 182, 186, 258, 340, H9, H10, H14
Parking Controls	Controlled Parking Zone?	Yes Double yellow lines along Canning Road and the length of the High Street
	CPZ Hours	Mon to Friday 10am to 11 am and 2pm to 3pm.
	Other on-street controls	n/a
Refuse/Recycling Collection	Summary of proposed refuse/recycling strategy	Separate Bins Stores for recycling and non-recyclable waste with collection from Gladstone Way.

PART 2: Assessment

1.0 SITE DESCRIPTION

- 1.1 The application site relates to a five storey building on the east side of the High Street, Wealdstone within Wealdstone District Centre and the Harrow and Wealdstone Opportunity Area.
- 1.2 The existing building is brick built with a mixed use. The ground floor is occupied by two retail shops, a library and a café. The first floor is occupied by Premier Banqueting. The remaining floors were previously in mixed office (b1) and educational (d1) uses.
- 1.3 Access to the upper floors is via a ground floor entrance onto Canning Road; within the building, access to the upper floors is by stairs and 2 x lifts.
- 1.4 The site has a public transport accessibility level (PTAL) of 6a. There is a vehicular access into the site and a loading/service area at the rear from Gladstone Way.
- 1.5 The site frontage to the High Street is within fluvial and surface water flood zones 2 and 3.
- 1.6 To the immediate east of the application site on the opposite side of Gladstone Way, is a three storey car park building which contains 257 spaces. Further to the south east, is a 27 space surface level car park offering a further 27 spaces accessed via Gladstone Way and Palmerston Road.
- 1.7 To the immediate north of the application site are two and three storey buildings containing commercial and residential space, separated by Canning Road. Further along Canning Road to the north east is Knightley Court a five/six storey residential building which forms part of a recently completed apartment development.
- 1.8 To the west of the site on the opposite side of Wealdstone High Street are three storey buildings containing commercial units on the ground floor and residential above. The locally listed Trinity Church lies adjacent to these units.

2.0 PROPOSAL

- 2.1 The application proposed to convert part of the second and third floors from use class D1 (educational use) to 22 single occupancy units for collective living with shared facilities on each floor (sui generis).
- 2.2 The proposed units would be accessed through a stairwell / lift core which would serve the upper floors.
- 2.3 Each of the proposed single rooms would benefit from an en-suite. The proposed second floor would feature seven single occupancy units in addition to

two shared kitchens, a library and lounge. The proposed third floor would feature fifteen single occupancy rooms and would feature four kitchen areas, a library and a communal lounge. Shared washing machines/dryers would also be provided.

- 2.4 An operational management plan has been submitted with the application and advises that the scheme will include on site management that would consist of
- I. Receptionist/concierge at the entrance (shared with the approved residential schemes for the site)
 - II. On site manager available throughout the year
 - III. Daily cleaning of communal parts/shared amenities
 - IV. Bi-weekly cleaning services for rooms
- 2.5 The proposal would not include any parking provision. Two disabled parking bays are proposed within the site for the previously approved residential units within the building. A total of 22 cycle spaces would be provided adjacent to the banqueting suite within the eastern part of the site.
- 2.6 The proposed refuse store would be provided within a designated area to the east of the building (adjacent to the kitchen of the banqueting suite) and the proposed cycle store.

3.0 RELEVANT PLANNING HISTORY

- 3.1 A summary of the relevant planning application history is set out in the table below:

Ref no.	Description	Status and date of decision
LBH/10829/4	Closure of Peel Road, Demolition of Existing Buildings, Erection of 2 and 5 Storey Building Comprising Supermarket and Two Shops on Ground Floor, Storage on First Floor with Offices Over; Construction of New Service Road Between Canning Road and Palmerston Road; Erection of 4 Storey Car Park with Pedestrian Bridge	Granted 11/12/1979
P/1749/05/CFU	Change of use of 550sqm Of 3rd floor from offices (class b1) to offices/educational uses (class b1/d1c)	Granted 05/09/2005
P/3383/10	Change of Use of Part Second Floor from Office to Education Use (Class B1 to D1) and Part Third Floor from Education Use to Office	Granted 01/04/2011

	(Class D1 to B1)	
P/2349/13	Prior Approval - Conversion of Fourth Floor Offices (Class B1a) to 10 Self-Contained Flats (Class C3)	Prior approval not required, 04/10/2013
P/2542/14	Prior Approval – Conversion of Second Floor Offices (Class B1a) to 9 Self-Contained Flats (Class C3)	Granted 22/08/2014
P/4177/14	<p>Change of Use of Part of Second Floor & All of Third Floor from Office/Educational Use (Class B1/D1) to Residential (Class C3) to Provide 12 Flats; Parking; Bin/Cycle Storage; and External Alterations;</p> <p><u>Reasons:</u></p> <p>1. <i>The proposed use of the second and third floors for residential would be incompatible with the existing use of the first floor of the building as banqueting facilities by reason of the harm that would be caused to living conditions of future occupiers through excessive noise and disturbance. The proposal therefore fails to accord with policies 7.4B and 7.6B of The London Plan (consolidated with alterations since 2011) (2015) and policies DM1, DM31 and DM46 of the Harrow Development Management policies Local Plan (2013).</i></p> <p>2. <i>The development would result in the loss of an education facility within the Borough and insufficient justification has been provided to demonstrate that such a loss would be acceptable in principle. As such, the development would be contrary to Policy 3.18 (Education Facilities) of the London Plan (2015) and Policy DM47 (Retention of Existing Community, Sport and Education Facilities) of the Development Management Policies (2013).</i></p> <p>3. <i>In the absence of a completed</i></p>	Refused 13/04/2015

	<i>agreement under s.106 of the Town and Country Planning Act (1990), the development would fail to make an acceptable contribution towards meeting the need for affordable housing in the Borough, contrary to policy 3.13 of the London Plan 2015, policy CS1 J of the Harrow Core Strategy (2012) and policy AAP 13 B (e) of the Area Action Plan (2013)</i>	
P/1727/17/prior	Prior Approval – Conversion of third floor (part) and fourth floor from offices to 45 self-contained flats (class c3)	Granted 01/06/2017
P/0120/17	Creation of a new fifth floor to accommodate nine additional flats with associated external alterations.	Granted 31/07/2017

4.0 **CONSULTATION**

4.1 A total of 48 consultation letters were sent to neighbouring properties regarding this application.

4.2 The overall public consultation period expired on 5th September 2017.

4.3 **Adjoining Properties**

Number of letters Sent	15
Number of Responses Received	0
Number in Support	0
Number of Objections	0
Number of other Representations (neither objecting or supporting)	0

4.4 To date, no objections have been received from adjoining properties in relation to the proposed development.

4.5 Statutory and Non Statutory Consultation

4.6 The following consultations have been undertaken:

LBH Highways
LBH Drainage
LBH Environmental Health
LBH Policy
LBH Waste Officer
LBH Travel Planner

4.7 Internal and External Consultation

4.8 A summary of the consultation responses received along with the Officer comments are set out in the Table below.

Consultee	Summary of Comments	Officer Comments
LBH Highways	<p>The addition of a 22 room HMO to this site results in increased trips during the AM peak, however, due to the location of the development within an area with excellent public transport access, many of these trips are unlikely to be car borne. This element of the overall proposal would need to be subjected to a parking permit restriction to support the car free intention. This would mean that residents would be unable to obtain resident or visitor parking permits for the surrounding Controlled Parking Zone.</p> <p>The proposal requires an additional 22 cycle parking spaces which are shown in the rear yard. These are shown to be compliant with the London Cycling Design Standards and would be sheltered and secure.</p> <p>The overall proposals for the site introduce 85 residential units. There are two disabled</p>	<p>The comments are noted. It is recommended that a legal agreement be secured to ensure that residents from the development would not be entitled to have resident parking permits.</p>

	<p>parking spaces proposed within the site and there are limited parking options on-street. The level of parking for potential disabled residents is fairly low but the public transport options are plentiful and all are accessible. A revised travel plan including the HMO proposal is required</p>	
LBH Drainage	<p>The proposed development is within EA Flood Zone 2 & 3 according to Environment Agency Flood Maps and also in Flood Zone 3a according to our Flood Maps. I can confirm that the Emergency Planning Information provided in the Flood Risk Assessment submitted by the applicant is satisfactory.</p> <p><u>Drainage Requirement:</u> The applicant should contact TW Developer Services for consent to discharge additional foul water from the proposed development into the public sewers. More information on this can be found on Thames Water website www.developerservices.co.uk.</p> <p>Also, please advise the applicant that we have a separate drainage system in Harrow where the drainage connections are separated. Surface water should be connected to surface water sewer and foul water should be connected to foul sewer only.</p>	<p>Noted. A condition is recommended for details of Flood Water Disposal prior to the occupation of any of the units.</p>
LBH Environmental Health	<p>I feel the development will be acceptable provided that suitable noise insulation is</p>	<p>Noted. A pre-commencement condition requiring a</p>

	provided, and that this will be feasible. Therefore it should be acceptable to deal with this by way of a condition. It will need to be a pre-commencement one as retrofitting /enforcement would be difficult otherwise. it would be useful to also require testing once scheme completed to demonstrate the required level of noise insulation has been achieved	revised noise report with suitable insulation measures and a pre-occupation condition demonstrating noise levels are recommended.
LBH Policy	Awaiting comments	Comments will be reported to the planning committee via the addendum.
LBH Travel Planner	Awaiting comments	
LBH Waste Officer	Awaiting comments	

5.0 **POLICIES**

5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that:

‘If regard is to be had to the Development Plan for the purpose of any determination to be made under the Planning Acts, the determination must be made in accordance with the Plan unless material considerations indicate otherwise.’

5.2 The Government has issued the National Planning Policy Framework [NPPF] which consolidates national planning policy and is a material consideration in the determination of this application.

5.3 In this instance, the Development Plan comprises The London Plan 2016 [LP] and the Local Development Framework [LDF]. The LDF comprises The Harrow Core Strategy 2012 [CS], Harrow and Wealdstone Area Action Plan 2013 [AAP], the Development Management Policies Local Plan 2013 [DMP], the Site Allocations Local Plan [SALP] 2013 and Harrow Local Area Map 2013 [LAP].

5.4 A full list of all the policies used in the consideration of this application is provided as Informative 1 in Appendix 1 of this report.

6.0 ASSESSMENT

6.1 The main issues are;

Principle of the Development
Regeneration
Character and Appearance
Residential Amenity
Traffic, Parking, Access and Servicing
Development and Flood Risk

6.2 Principle of Development

6.2.1 The National Planning Policy Framework outlines that the purpose of the planning system is to contribute to the achievement of sustainable development. It emphasises that paragraphs 18 to 219 of the NPPF should be taken as a whole in defining what amounts to sustainable development. Economic, social and environmental considerations form the three dimensions of sustainable development. With regard to the social role of the planning system, this is in supporting strong, vibrant and healthy communities by creating a high quality build environment that reflect the community needs and support its health, social and cultural wellbeing. In order to achieve sustainable development, economic, social and environmental gains should be sought jointly

6.2.2 The London Plan identifies Harrow and Wealdstone as an Opportunity Area offering significant opportunity for urban renewal and intensification. Along with capacity for employment intensification such as retail, office and hotel accommodation as well as industrial and other business uses, the plan also identifies the area has scope to accommodate a substantial portion of the Borough's housing demand through delivery of higher density residential and mixed use development.

6.2.3 In recognition that population growth in London is likely to be significantly above that which was anticipated in the original 2011 version of the Plan, and informed by new evidence, the 2016 London Plan adopts an annual London-wide housing target for the new plan period 2016-2026 of 42,389 p.a. (up from 32,210 p.a. for the period 2011-2021) of which Harrow's annual target for the new plan period is 593 p.a. (up from 350 p.a. for the period 2011-2021). The targets contained within the 2016 London Plan fail to reconcile a potentially significant gap between household growth projections and the identified availability of land for new housing, meaning that the targets continue to be expressed as minima. There must be, therefore, a renewed emphasis on all boroughs meeting and exceeding their housing targets.

6.2.4 The entire Heart of Harrow Opportunity Area is designated as a Housing Zone, which will help unlock the potential to deliver more than 5,000 new homes over the next ten years. Housing Zones are designed to work flexibly depending on the local circumstances. However, all new developments would need to be built

to high quality standards and in compliance with all relevant policies contained within the development plan, including conformity to the London Housing Design Guide. The Heart of Harrow Housing zone incorporates Harrow and Wealdstone town centres and reflects the spatial strategy to regenerate these centres

Loss of Educational (D1) floorspace

- 6.2.5 The application site relates to part of the second and third floors which have historically been subject to the change of use from office to educational use. The Development Plan seeks to protect educational facilities within the Borough. Policy DM47 of the Harrow Development Management Policies states *'proposals involving the loss of an existing community, sport or educational facility will be permitted if:*
- a. There is no longer a need for that facility (having regard to the amount of local patronage, the quality of facilities offered and the duration and extent of marketing*
 - b. there are adequate similar facilities within walking distance which offer equivalent provision*
 - c. the activities carried on are inconsistent and cannot be made consistent with acceptable living conditions for nearby residents*
 - d. the redevelopment of the site would secure an over-riding public benefit*
- 6.2.6 The submitted Design and Access / Planning statements advise that the subject educational spaces (which were vacant on the occasion of the officer site visit) have remained unoccupied for a period of time. The supporting documents state that the subject units have been marketed extensively since November 2015 and are currently being offered as available. The supporting letter from Chamberlain Commercial advises that small D1 suites are now difficult to let in North West London as the market for these types of education spaces was previously driven by International Adult Colleges. However, this market has all but dilapidated since the Home Office revised overseas student visa appraisals. The subject units were marketed through web page advertising and local mailing. The units have not attracted any interest from potential occupiers to date.
- 6.2.7 It is evident from the submitted information that the subject units have been marketed for almost two years without success. The particular educational use for which the premises were used have been expunged by national policy and leading to little demand for the quality and type of educational use offered. There may be other demand for educational uses within the borough (such as tuition centres/nursery's), but it is highly unlikely these potential uses would be attracted to the subject premises, given their particular requirements (such as layout, accessibility and privacy). For these reasons, it is considered that the submitted information would adequately demonstrate that there is no longer a need for the existing educational premises.
- 6.2.8. As noted above, there has been a significant decline in the number of Adult Educational Colleges, which was the last use of the premises. Furthermore, these educational establishments are associated with a market which was not

necessarily locally based. In this respect, it is considered that part DM47A(b) is not relevant in this instance.

- 6.2.9 As noted in the planning history and the section on new residential accommodation below, the subject building benefits from extant permissions for the conversion of the existing office accommodation into residential accommodation in addition to planning permission for fifth floor in residential use. It is the applicant's intention to implement these permissions. If implemented, the existing D1 educational floorspace on the second and third floors may conflict with the residential use insofar as the internal layout would result in patrons of the D1 use having to navigate through the corridors of the residential uses. This could impact the amenity of the residential occupiers through undue noise disturbances which may arise.
- 6.2.10 The proposal is to provide twenty two single occupancy collective living units. This new housing product would address the needs of different groups and ultimately contribute to the development plan objective of housing growth and creating mixed and balanced communities. In conjunction with the extant planning permissions for the change of the office accommodation to residential use and the provision of a fifth floor in residential use, it is considered that the proposed residential use would support the strategic housing policies/objectives within the Housing Zone and the Harrow and Wealdstone Opportunity Area. For these reasons, officers consider that the loss of D1 premises within Premier House would be acceptable in this instance.

New Residential Accommodation

- 6.2.11 Harrow's spatial strategy for the plan period 2009-2026 is set-out in the Core Strategy (2012) and is predicated on a new, pro-active approach to growth management and place-making. The strategy focuses on the [now] opportunity area designation of central Harrow and Wealdstone to deliver growth through higher-density residential and mixed-use development, it being a location with high levels of public transport accessibility and where there is capacity to accommodate and benefit from major change.
- 6.2.12 The Core Strategy identifies mixed use redevelopment (paragraph 4.26); redevelopment of brownfield sites as well as conversions (paragraph 4.14) within the town centre will be promoted. Housing-led regeneration will support physical renewal of the High Street and enhance links with wider business and industrial capacity (paragraph 5.10).
- 6.2.13 The Harrow and Wealdstone Area Action Plan (AAP) (2013) seeks to establish the opportunity area as the 'Heart of Harrow', reassert Harrow's visibility as the capital of Metro-land in London and to reaffirm Harrow town centre's role as a Metropolitan Centre
- 6.2.14 Paragraph 50 of the National Planning Policy Framework (NPPF) (March 2012) states:

'To deliver a wide choice of high quality homes, widen opportunity for home ownership and create sustainable, inclusive and mixed communities, local planning authorities should:

- Plan for a mix of housing based on current and future demographic trends, market trends and the needs of different groups in the community;*
- Identify the size, type, tenure and range of housing that is required in particular locations, reflecting local demand'.*

- 6.2.15 Policy 3.8 of The London Plan (2016) states that boroughs should ensure that new development offer a range of housing choices, in terms of the mix of housing sizes and types, taking account of the housing requirements of different groups and the changing roles of different sectors in meeting these.
- 6.2.16 Section 3.5 of the Housing SPG (2016) details the important role of new housing products in meeting housing needs. In considering proposals for, non-conventional housing schemes (such as the subject application), local planning authorities should ensure proposal are; of good quality and meet all the relevant Housing Act and HMO standards and requirements, there're are effective management arrangements and support services in place to reflect the needs of the schemes' intended occupiers, ensure such schemes do not have a negative impact on the surrounding community, that adequate lettings policies are in place to manage the mix of occupiers and such schemes are located only in areas of high public transport accessibility.
- 6.2.17 Policy DM 40 of the Harrow Development Management Policies Local Plan states that *"Proposals for mixed use development in town centres will be supported. The appropriate mix of uses will be considered having regard to:*
- a: the role and function of the centre*
 - b: the need to make efficient and effective use of previously developed land.*
 - c: the need to re-provide certain uses on the site in accordance with other policies;*
 - d: the compatibility of the uses proposed; and*
 - e: any other planning objectives considered to be a priority for the area".*
- 6.2.18 Having regard to the London Plan, the Harrow Core Strategy and AAP, officers consider that the proposed communal/collective living approach would increase housing supply and has the potential to relieve pressure within the private rented sector. There is evidence within London to suggest that communal living is an attractive option to London's younger population because of the inherent savings that may be possible from this form of housing. The proposed housing product would therefore have the effect of addressing the needs of different groups and ultimately contribute to the development plan objective of housing growth and creating mixed and balanced communities.
- 6.2.19 The layout and management of living accommodation is unlike conventional housing and does not fall within any Use Class (i.e. it is a sui generis use). To ensure that the specific proposed type of accommodation is retained in the future it is necessary to have controls over occupancy and some aspects of the

tenancies and over management and the shared facilities provided. This is secured primarily through the proposed s.106 agreement

- 6.2.20 The second, third and fourth floors are largely vacant with only two office units being occupied. It is understood from the applicant that these office units are soon to be vacated. As outlined in the planning history, prior approval has been sought for part of the second and third floors and the entire fourth floor. Additionally, planning permission has been obtained for a fifth floor in residential use. There is a reasonable prospect that the residential use will be implemented and the building would therefore have a mixed use with a residential component. It is considered that the proposed change of use would be compatible with the intended conversion of the upper floors to residential use.
- 6.2.21 The site is ideally located to make the most of sustainable transport networks with the adjacent Harrow and Wealdstone rail station and cycle routes adjacent to the site. Notably, the existing first floor is in use as banqueting facility which could generate noise levels beyond the background noise levels expected within a town centre environment. However, given the separation distance between the floors, this is considered to be acceptable in principle, subject to the noise levels being within reasonable limits. This is discussed in more detail in the residential amenity section of the appraisal below. Officers consider that the modest intensification in the residential floorspace within the building would contribute to the increased vibrancy and vitality of the area, the regeneration and renewal of the district shopping centre and is thereby considered to be acceptable in principle

6.3 Regeneration

- 6.3.1 The London Borough of Harrow published a Regeneration Strategy for 2015 – 2026. The objective of this document is to deliver three core objectives over the plans life, which include;
- Place; Providing the homes, schools and infrastructure needed to meet the demands of our growing population and business base, with high quality town and district centres that attract business investment and foster community engagement;
 - Communities; Creating new jobs, breaking down barriers to employment, tackling overcrowding and fuel poverty in our homes and working alongside other services to address health and welfare issues;
 - Business; Reinforcing our commercial centres, promoting Harrow as an investment location, addressing skills shortages, and supporting new business start-ups, developing local supply chains through procurement.
- 6.3.2 Whilst it is acknowledged that the proposed development would not address all of the aspects noted in the above bullet points, it would achieve the overall aspiration of regeneration of the Borough by helping to meet the demands of a growing population. The proposal would make a modest contribution to the delivery of some 5,500 new homes by 2026 in the Heart of Harrow and would contribute towards additional vitality within the town centre as a result of the boost in residential population.

6.4 Character and Appearance

- 6.4.1 The National Planning Policy Framework emphasises that in the pursuit of sustainable development, proposals which would replace poor design with better design and would provide positive improvements in the quality of the built environment should be encouraged (Paragraph 9).
- 6.4.2 The London Plan (2016) policies 7.4B and 7.6B set out the design principles that all Boroughs should seek to ensure for all development proposals. Core Policy CS(B) states that 'All development shall respond positively to the local and historic context in terms of design, siting, density and spacing, reinforce the positive attributes of local distinctiveness whilst promoting innovative design and/or enhancing areas of poor design.' Policy DM1 of the Harrow Development Management Policies Local Plan (2013) reinforces the principles set out in Policies 7.4 and 7.6 of The London Plan (2016).
- 6.4.3 The application relates to the change of use of part of the building and no external alterations are proposed. It is considered that the proposal would therefore have an acceptable impact on the character and appearance of the locality.
- 6.4.4 Policy DM45 of the Harrow DMPLP (2013) states that: "All proposals will be required to make on-site provisions for general waste, the separation of recyclable materials and the collection of organic material for composting. The on-site provisions must:
- a. provide satisfactory storage volume to meet the general recycling and organic waste material arising from the site;
 - b. ensure satisfactory access for collectors and, where relevant, collection vehicles; and
 - c. be located and screened to avoid nuisance to occupiers and adverse visual impact.
- 6.4.5 To ensure that the proposed development does not exacerbate problems created by any residential units to be provided through the extant permissions, the applicant has submitted an updated waste strategy during the course of the application in order to address the refuse and recycling arrangements of all the potential forthcoming flats within the building
- 6.4.6 Waste storage would be provided in a secure space within the rear external courtyard. A total of four 1280 litre residential bins and four 1100 litre recycling bins would be provided. There would be additional space available for food waste. The siting of the proposed refuse store would allow for easy access for waste collection vehicles and it is considered that the overall capacity provided would be within the requirements of Harrow Council's *Code of Practice for the Storage and Collection of Refuse and materials for Recycling in Domestic Properties*. Refuse vehicles would access the site from Gladstone way and vehicle tracking diagrams have been provided which demonstrate that the vehicles could access the service yard for collection

6.5 Residential Amenity

Impact on Neighbouring Occupiers

- 6.5.1 Policy 7.6 of The London Plan (2016) states that 'Buildings and structures should not cause unacceptable harm to the amenity of the surrounding land and buildings, particularly residential buildings, in relation to privacy, overshadowing, wind and microclimate'. Policy DM 1 of the Harrow Development Management Policies Local Plan (2013) requires that: 'All development and change of use proposals must achieve a high standard of privacy and amenity of neighbouring occupiers'. The assessment of the design and layout of proposals will have regard to: "the massing, bulk, scale and height of proposed buildings in relation to the location, the surroundings and any impact on neighbouring occupiers".
- 6.5.2 The application building is sited within the Wealdstone District Centre where reasonable expectations about privacy may be different to more suburban settings and where, consistent with the areas opportunity designation, it is desirable to encourage effective use of developed land. Under these circumstances, it is considered that there is no objection to the proposal in terms of privacy. As the proposal is for a change of use, it is considered that there would not be any unreasonable impacts in terms of daylight and sunlight impacts on the surrounding neighbouring buildings.
- 6.5.3 The proposed first floor is in use as a banqueting suite. Parts of the second, third and fourth floor also have lawful use as offices, although they also benefit from prior approval to convert the offices into residential use. It is therefore important to ensure that there would be no unreasonable noise transmission between floors. The subject application is accompanied by a sound insulation investigation report which suggests a bespoke upgrade strategy to provide a pragmatic benefit for all residential units by means of a reduction in airborne and structure-borne noise transmission from the existing banqueting hall. Having regard to this and the additional technical requirements of Building Regulations, it is considered that the proposal would not result in any stacking issues for the other potential residential occupiers of the building.

Impact on Future Occupiers

- 6.5.4 Policy 3.5 of the London Plan (2016) sets out several criteria for achieving good quality residential development. The policy aims to ensure that developments enhance the quality of local places and create homes that reflect the minimum space standards and are fit for purposes in other respects. Core Strategy Policy CS1K requires a high standard of residential design and layout consistent with the London Plan and associated guidance. Policies DM1 Achieving a High Standard of Development and DM27 Amenity Space set out a number of privacy and amenity criteria for the assessment of proposals for residential development.
- 6.5.5 Policy 3.5C of The London Plan requires all new residential development to provide, amongst other things, accommodation which is adequate to meet people's needs. In this regard, minimum gross internal areas (GIA) are required

for different types of accommodation. However, the application is providing a new housing product of communal living akin to HMO's. For this reason, regard is given to the standards providing within the London Plan which requires each single room to have a minimum floor area of 7.5m² and the Technical Housing Standards which requires a single room to have a minimum width of 2.1m.

6.5.6 The proposed 22 single occupancy units would have the following floor areas;

Second Floor:

Room	Floor Area (m ²)
1	15.2
2	16.4
3	13.1
4	13.3
5	14.6
6	13.3
7	12.9

Third Floor:

Room	Floor Area (m ²)
8	32
9	14.3
10	16.1
11	16.3
12	16.2
13	15.8
14	15.7
15	15.5
16	15.9
17	15.6
18	15.6
19	14.7
20	13.3
21	13.4
22	13.5

- 6.5.7 As detailed in the above tables, each room either meets or exceeds the requirements set out in the London Plan for minimum room sizes and the Technical Housing Standards. Each of the single occupancy rooms would also benefit from a window which would provide an adequate level of light into and outlook from the rooms. Under these circumstances, it is considered that the proposed living accommodation provided would be satisfactory with regards to its size and layout.
- 6.5.8 No outdoor provide amenity space is proposed. However, a communal lounge and library would be provided on each floor and would therefore provide some additional amenity space for the future occupiers.
- 6.5.9 Policy DM1 of the DMP, states under sub-section D (h) that when assessing privacy and amenity it will have regard to the impact of proposed use and activity upon noise, including hours of operation, vibration, dust, air quality and light pollution. This is further supported under The London Plan policy 7.15B.
- 6.5.10 The subject building is located within a busy town centre environment and as noted elsewhere in this report the first floor is occupied by a banqueting suite. The application is accompanied by a noise report which details the result of a series of noise measurements within the vicinity of the site. The noise report recommendations are based on the assumption that the banqueting suite will adhere to a particular maximum noise level that the report says they have agreed to. However, this would not be enforceable as the banqueting suite is not part of the application site. The application was referred to the Council's Environmental Health Officer who has advised that the development would be acceptable subject to suitable noise insulation which would be feasible for the site. A pre-commencement condition is therefore recommended requiring an amended noise report which takes account of the likely noise levels and a scheme for provision of noise insulation to the satisfaction of the Local Planning Authority. A Pre-occupation condition is also recommended to demonstrate that the required level of noise insulation has been achieved.

6.6 Traffic, Parking, Access and Servicing

- 6.6.1 The NPPF recognises that transport policies have an important role to play in facilitating sustainable development but also contribute to wider sustainability and health objectives. It further recognises that different policies and measures will be required in different communities and opportunities to maximise sustainable transport solutions will vary from urban to rural areas.
- 6.6.2 Policies 6.3, 6.9, 6.10 and 6.13 of The London Plan (2016) seek to regulate parking in order to minimise additional car travel and encourage use of more sustainable means of travel and ensure that development proposals will not adversely impact on the transport capacity and the transport network, at both corridor and local level. This is further emphasised by core policy CS1R of the Harrow Core strategy (2012). Policy AAP 19 of the AAP seeks to limit on-site car parking and development proposals to support the use of sustainable modes of transport, in particular in areas that have a high level of public

transport accessibility. Policy DM 42 of the Harrow Development Management Local Plan outlines the council's parking standards and cycle parking standards

- 6.6.3 The site has a public transport accessibility level (PTAL) of 6, indicating that the availability of public transport services in the area is very good. Premier House is located within a Controlled Parking Zone which operates Mon to Friday 10am to 11 am and 2pm to 3pm
- 6.6.4 Given the potential cumulative impact of the proposed flats and those potentially the subject of Prior Approval applications, the application is accompanied by a Transport Statement. No car parking is proposed as part of the development with the exception of two blue badge holders spaces (allocated for the preceding prior approval applications).
- 6.6.5 There is potential for the building to accommodate up to 63 residential units from previously approved applications (for residential use within the building). Although, there is no approval in place either by planning application or prior approval for the third and fourth floor to residential accommodation, the applicant has communicated it is their intention to pursue this. Consequently, the submitted Transport Statement takes account of the potential cumulative impact of all the development within the building.
- 6.6.6 Having considered the transport and highways implications of the proposal, no objection was raised by the Council's highway officers, subject to the submission of a travel plan to encourage modal shift away from car usage and subject to the occupiers of the development being restricted from eligibility for resident on street parking permits in line with the requirements of Area Action Plan Policy AAP 18. At the time of writing this report the submitted Travel Plan is under consideration and an update on this will be reported via the committee addendum. With regards to the parking restriction, it is recommended that this is secured through a section 106 agreement. For the reasons outlined above the transport impacts of the proposal are considered to be acceptable, having regard to the aims and objectives of above stated policies.

6.7 Development and Flood Risk

- 6.7.1 The NPPF (2012) outlines the need to manage flood risk from all sources (paragraph 100). Policies 5.12, 5.13 and 5.14 of The London Plan seek to address surface water management and a reduction in flood risk.
- 6.7.2 Policy DM9 requires that proposals must demonstrate that the development will be resistant and resilient to all relevant sources of flooding including surface water. Development proposals must minimise the risk of flooding on site and not increase the risk of flooding elsewhere, wherever possible reduce flood risks overall and ensure a dry means of escape for occupiers of residential development. The importance of flood risk reduction and sustainable drainage is further emphasised by policy AAP9 of the Harrow and Wealdstone Area Action Plan (2013).

- 6.7.3 The majority of the site lies within flood zone 1 with the exception of a small part of the front of the site adjacent to the High Street which lies in Environment Agency fluvial flood zones 2 and 3 and surface water flood zones 3a and 3b as identified on the Harrow Local Area Map (2013).
- 6.7.4 In accordance with the NPPF (2012), Flood Risk Vulnerability Classification, residential development is classified as 'more vulnerable' development. Access and Egress to the building would be away from the source of flooding. The application was referred to the Council's Drainage Engineer who has advised that the emergency planning information provided within the Flood Risk Assessment is satisfactory.

7.0 CONCLUSION AND REASONS FOR APPROVAL

- 7.1 Officers consider that the proposal would contribute to a strategically important part of the housing stock within the Borough and would make a positive contribution to the town centre environment, consistent with the regeneration aspirations of the opportunity area. The proposed development would have a satisfactory impact on the character of the area, the amenities of existing neighbouring occupiers and future occupiers of the development. Officers also consider that the proposal would not have a detrimental impact on the functioning or safety of the highway. For these reasons, weighing up the development plan policies and proposals, and other material considerations including comments received in response to notification and consultation as set out below, it is considered that the development is justified in this instance and the application is recommended for grant.
- 7.2 For all the reasons considered above, and weighing up the development plan policies and proposals, and other material considerations including comments received in response to notification and consultation as set out above, this application is recommended for grant.

APPENDIX 1: Conditions and Informatives

Conditions

1 Timing

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.

2 Approved Drawing and Documents

Save where varied by the other planning conditions comprising this planning permission, the development hereby permitted shall be carried out in accordance with the following approved plans and documents: Site Location Plan, 801/001, 801/010/Rev A, 801/111 Rev A, 801/112 Rev B, 801/113 Rev C, 801/022/0, 801/023/0, L(02)001 Rev P1, L(02)002 Rev P1, L(02)003 Rev P1, L(02)004 Rev P1, Planning Statement (July 2017), Design and Access Statement (July 2017), Phase 1 Flood Risk Assessment (July 2017), Sound Insulation Investigation Report (25 July 2017), Transport Technical Note (2nd August 2017), Waste Management Statement (August 2017), Operational Management Plan (2017), Residential Travel Plan (August 2017)

Reason: For the avoidance of doubt and in the interests of proper planning.

3 Drainage 1

The development shall be carried out in accordance with the recommendations of the approved Phase 1 Flood Risk Assessment (July 2017) including the installation of resistance and resilience measures to the building and shall be retained as such thereafter.

Reason: To ensure that adequate drainage facilities are provided, reduce and mitigate the effects of flood risk in accordance with the NPPF, London Plan (2016) policy 5.12, policy CS1 U of the Harrow Core Strategy and policy DM 9 of the Harrow Development Management Policies Local Plan (2013).

4 Drainage 2

The change of use hereby permitted shall not be occupied until works for the disposal of sewage have been provided on site in accordance with details to be submitted to, and approved in writing by, the local planning authority. The development shall be carried out in accordance with these approved details and shall thereafter be retained.

Reason: To ensure that adequate drainage facilities are provided in accordance with policy DM10 of the Development Management Policies Local Plan

(2013).Details are required prior to commencement of development to ensure a satisfactory form of development.

5 Cycle Storage

The approved cycle storage shall be carried out and implemented in full on site for the sole use of the development

Reason: To ensure the satisfactory provision of safe cycle storage facilities, to provide facilities for all the users of the site and in the interests of highway safety and sustainable transport, in accordance with policy 6.9B of The London Plan (2016) and policy DM 42 of the Harrow Development Management Policies Local Plan (2013).

6 Refuse and Waste

The refuse bins shall be stored at all times, other than on collection days, in the designated refuse storage area.

Reason: To ensure a high standard of amenity for future occupiers of the development and to ensure that the bins do not impede inclusive access within the site, in accordance with Policies DM1 and DM2 of the Development Management Policies Local Plan (2013).

7 Noise 1

The development hereby approved shall not commence until a noise report identifying those residential premises within the development that require mitigation of external noise levels and detailing the mitigation required to achieve satisfactory noise levels within those premises has first been submitted to, and agreed in writing by, the local planning authority. The report shall be based on actual or likely noise levels and not agreed noise levels with the banqueting suite. The report shall also detail the arrangements for ventilating the residential premises so identified. The development shall be carried out in accordance with the report so agreed, and shall be retained as such thereafter

Reason: To ensure a high standard of amenity for future occupiers of the development in accordance with Policies DM1 and DM2 of the Development Management Policies Local Plan (2013)

8 Noise 2

The development hereby approved shall not be occupied until a report/assessment demonstrating that the noise insulation meets the agreed requirements has been submitted to, and agreed in writing by, the local planning authority. The noise insulation measures shall be retained as such thereafter.

Reason: To ensure a high standard of amenity for future occupiers of the development in accordance with Policies DM1 and DM2 of the Development Management Policies Local Plan (2013).

Informatives

1 Policies

The following policies are relevant to this decision:

National Planning Policy Framework (2012)

The London Plan (2016):

2.13, 3.1, 3.3, 3.4, 3.5, 3.8, 3.9, 5.12, 6.3, 6.9, 6.10, 6.13, 7.1, 7.2, 7.4, 7.6,

Harrow Core Strategy (2012)

CS1A/B/E/H/I/K/Q/U/X

Harrow Development Management Policies Local Plan (2013):

Policy DM1, Policy DM2, Policy DM9, Policy DM29, Policy DM40, Policy DM42,

Policy DM43, Policy Dm44, Policy DM45, Policy Dm47, Policy DM50

2 Pre-application engagement

Statement under Article 31 (1)(cc) of The Town and Country Planning (Development Management Procedure) (England) Order 2010 (as amended). This decision has been taken in accordance with paragraphs 187-189 of The National Planning Policy Framework. Harrow Council has a pre-application advice service and actively encourages applicants to use this service. Please note this for future reference prior to submitting any future planning applications.

3 Compliance with conditions

Compliance with Planning Conditions Requiring Submission and Approval of Details Before Development Commences

- You will be in breach of planning permission if you start development without complying with a condition requiring you to do something before you start. For example, that a scheme or details of the development must first be approved by the Local Planning Authority.

- Carrying out works in breach of such a condition will not satisfy the requirement to commence the development within the time permitted.

- Beginning development in breach of a planning condition will invalidate your planning permission.

- If you require confirmation as to whether the works you have carried out are acceptable, then you should apply to the Local Planning Authority for a certificate of lawfulness.

The applicant is advised to ensure that the highway is not interfered with or obstructed at any time during the execution of any works on land adjacent to a highway. The applicant is liable for any damage caused to any footway, footpath, grass verge, vehicle crossing, carriageway or highway asset. Please report any damage to nrswa@harrow.gov.uk or telephone 020 8424 1884 where assistance with the repair of the damage is available, at the applicants expense. Failure to report any damage could result in a charge being levied against the property.

4 Contractor Code of Practice

The applicant's attention is drawn to the requirements in the attached Considerate Contractor Code of Practice, in the interests of minimising any adverse effects arising from building operations, and in particular the limitations on hours of working.

5. Party Wall Act

The Party Wall etc. Act 1996 requires a building owner to notify and obtain formal agreement from adjoining owner(s) where the building owner intends to carry out building work which involves:

1. work on an existing wall shared with another property;
2. building on the boundary with a neighbouring property;
3. excavating near a neighbouring building,

and that work falls within the scope of the Act. Procedures under this Act are quite separate from the need for planning permission or building regulations approval. "The Party Wall etc. Act 1996: Explanatory booklet" is available free of charge from: Communities and Local Government Publications, PO Box 236, Wetherby, LS23 7NB. Please quote Product code: 02 BR 00862 when ordering. Also available for download from the CLG website: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>
Tel: 0870 1226 236, Fax: 0870 1226 237, Textphone: 0870 1207 405, E-mail: communities@twoten.com

6 Mayor of London CIL

Please be advised that approval of this application (either by Harrow Council, or subsequently by the Planning Inspectorate if allowed on appeal following a refusal by Harrow Council) will attract a Community Infrastructure Levy (CIL) liability, which is payable upon the commencement of development. This charge is levied under s.206 of the Planning Act 2008 Harrow Council, as CIL collecting authority, has responsibility for the collection of the Mayoral CIL

The CIL liability for the application, based on the Mayoral CIL levy rate for Harrow of £35/sqm £18,900

This amount however does not include indexation, which will be included when a formal Liability Notice is issued. The floorspace subject to CIL may also change as a result of more detailed measuring and taking into account any in-use floor space and relief grants (i.e. for example, social housing).

You are advised to visit the planning portal website where you can download the appropriate document templates.

Please complete and return the Assumption of Liability Form 1 and CIL Additional Information Form 0 .

https://ecab.planningportal.co.uk/uploads/1app/forms/form_1_assumption_of_liability.pdf

https://ecab.planningportal.co.uk/uploads/1app/forms/cil_questions.pdf

If you have a Commencement Date please also complete CIL Form 6:

https://ecab.planningportal.co.uk/uploads/1app/forms/form_6_commencement_notice.pdf

The above forms should be emailed to HarrowCIL@Harrow.gov.uk

Please note that the above forms must be completed and provided to the Council prior to the commencement of the development; failure to do this may result in surcharges and penalties

7

Harrow CIL

Harrow has a Community Infrastructure Levy which applies Borough wide for certain developments of over 100sqm gross internal floor space.

Harrow's Charges are: £59,400

Residential (Use Class C3) - £110 per sqm;

The Harrow CIL Liability for this development is: £. This figure excludes indexation, which will be included when a formal Liability Notice is issued. The CIL Liability is payable upon the commencement of development.

You are advised to visit the planning portal website where you can download the relevant CIL Forms.

Please complete and return the Assumption of Liability Form 1 and CIL Additional Information Form 0 .

https://ecab.planningportal.co.uk/uploads/1app/forms/form_1_assumption_of_liability.pdf

https://ecab.planningportal.co.uk/uploads/1app/forms/cil_questions.pdf

If you have a Commencement Date please also complete CIL Form 6:

https://ecab.planningportal.co.uk/uploads/1app/forms/form_6_commencement_notice.pdf

The above forms should be emailed to HarrowCIL@Harrow.gov.uk

Please note that the above forms must be completed and provided to the Council prior to the commencement of the development; failure to do this may result in surcharges

APPENDIX 2: SITE PLAN

PROJECT DESCRIPTION
CONVERSION OF D1 TO SUI GENESIS

LOCAL AUTHORITY
LONDON BOROUGH OF HAVING

PHASE OF PROJECT
06th June 2017

STATUS:
P L A N N I N G

PROJECT TITLE
PREMIER HOUSE

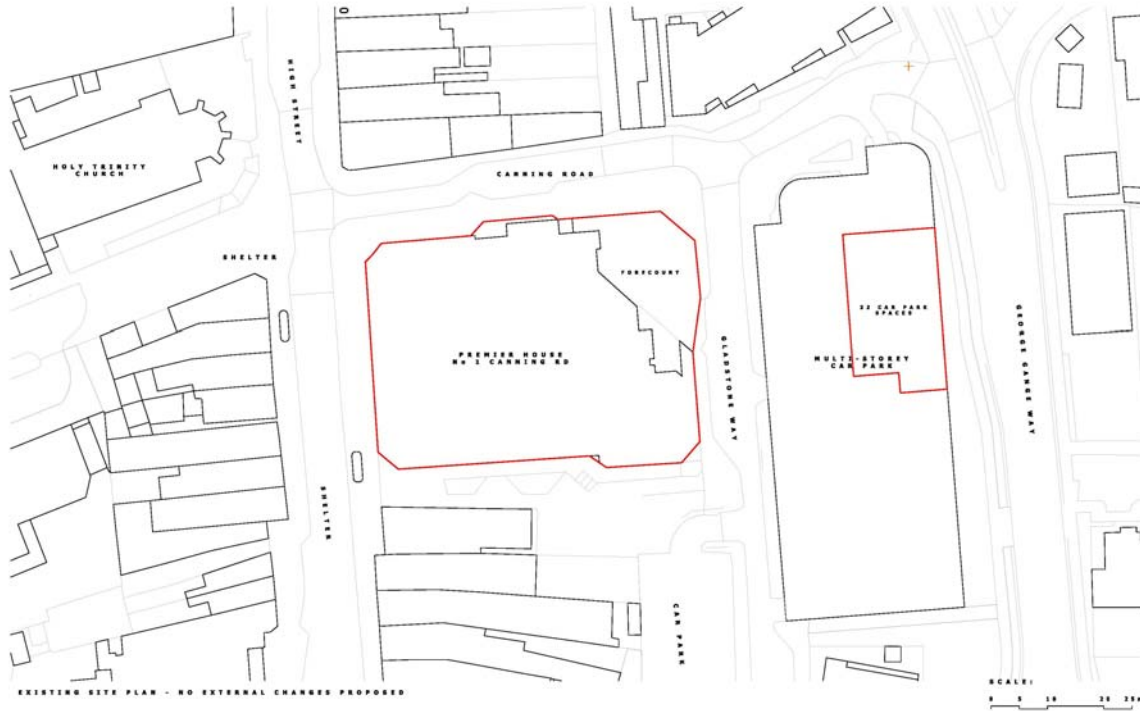
PROJECT ADDRESS
1 CANNING ROAD HARBOR W23 7TS

DRAWING TITLE
SITE PLAN

DRAWINGS SCALE
1:200 @ A3

DRAWINGS NUMBER
W23/001

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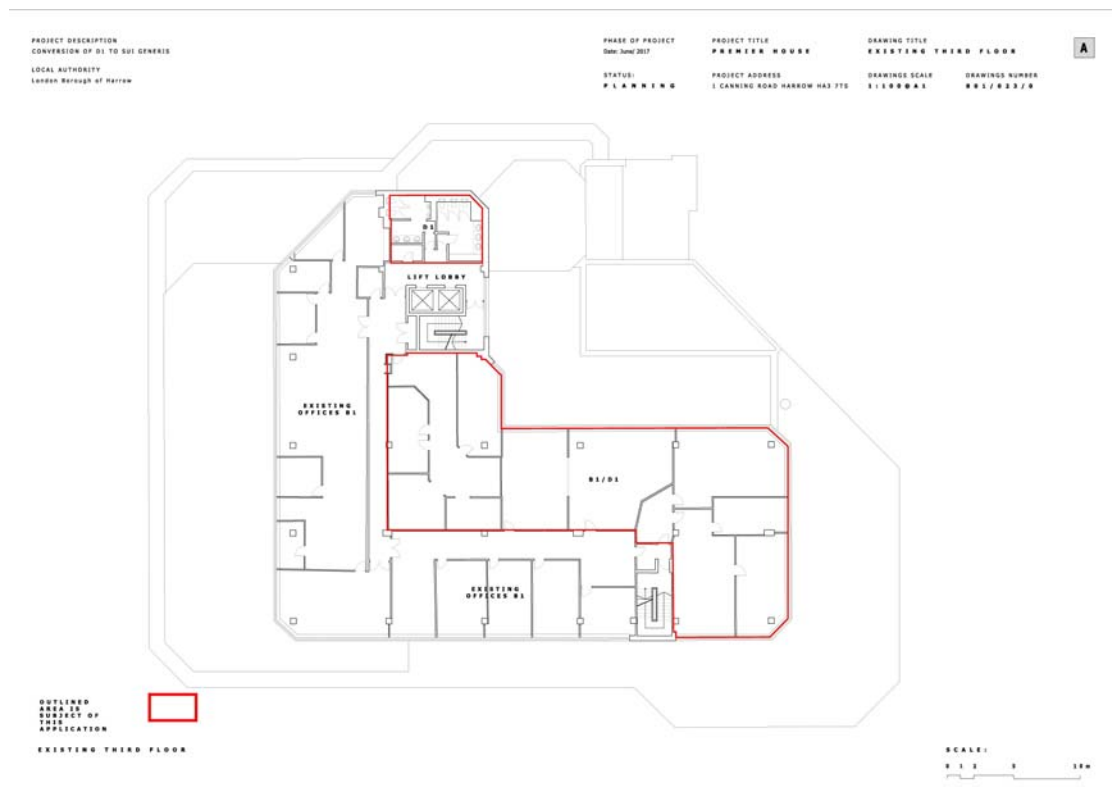
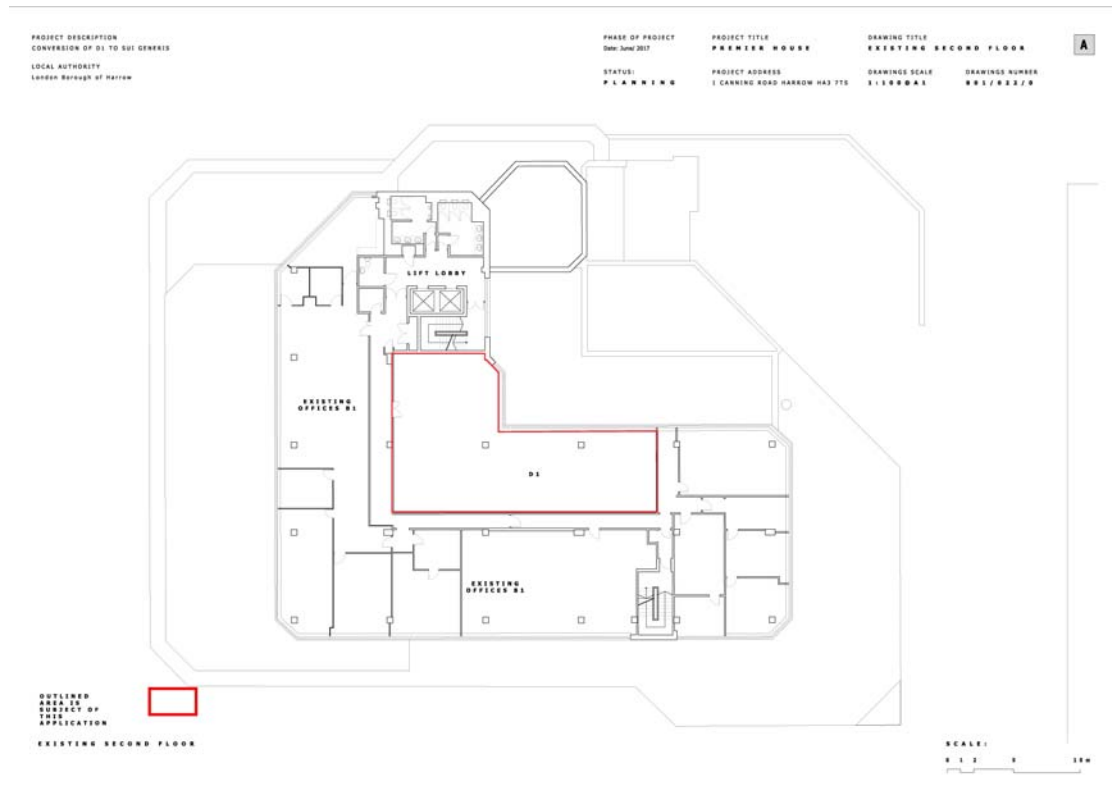


APPENDIX 3: SITE PHOTOGRAPHS





APPENDIX 4: PLANS AND ELEVATIONS



PROJECT DESCRIPTION
CONVERSION OF 01 TO SU1 GENESIS

LOCAL AUTHORITY
LONDON BOROUGH OF HAVING

PHASE OF PROJECT
Date: June/2017

STATUS
P L A N N I N G

PROJECT TITLE
PREMIER HOUSE

PROJECT ADDRESS
1 CANNING ROAD HARELOW HA3 7TS

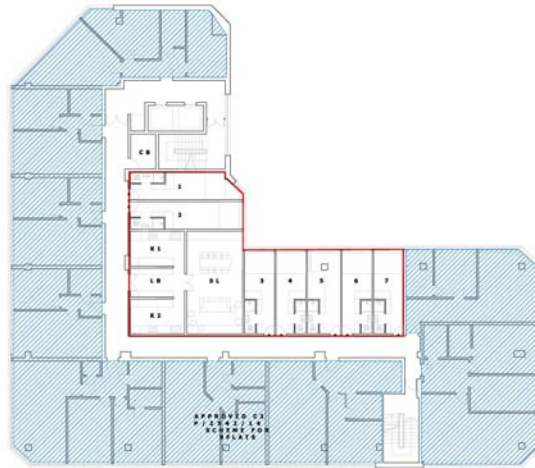
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PROPOSED SECOND FLOOR

DRAWINGS SCALE
1:15000 A3

DRAWINGS NUMBER
801/113 REV B

A

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 - 2 UNIT 2, SINGLE OCCUPANCY
 - 3 UNIT 3, SINGLE OCCUPANCY
 - 4 UNIT 4, SINGLE OCCUPANCY
 - 5 UNIT 5, SINGLE OCCUPANCY
 - 6 UNIT 6, SINGLE OCCUPANCY
 - 7 UNIT 7, SINGLE OCCUPANCY
 - SL SHARED LOUNGE/ LIVING
 - LB WALK THROUGH LIBRARY
 - K1 SHARED KITCHEN 1
 - K2 SHARED KITCHEN 2
 - CB CLEANING CUPBOARD



- OUTLINED AREA IS SUBJECT OF THIS APPLICATION BUT GENESIS
- HATCHED AREA NOT SUBJECT OF THIS APPLICATION
- PROPOSED SECOND FLOOR

SCALE:
0 1 2 3 10m

PROJECT DESCRIPTION
CONVERSION OF 01 TO SU1 GENESIS

LOCAL AUTHORITY
LONDON BOROUGH OF HAVING

PHASE OF PROJECT
Date: June/2017

STATUS
P L A N N I N G

PROJECT TITLE
PREMIER HOUSE

PROJECT ADDRESS
1 CANNING ROAD HARELOW HA3 7TS

DRAWING TITLE
PROPOSED THIRD FLOOR OPTION B

DRAWINGS SCALE
1:15000 A3

DRAWINGS NUMBER
801/113 REV C

A

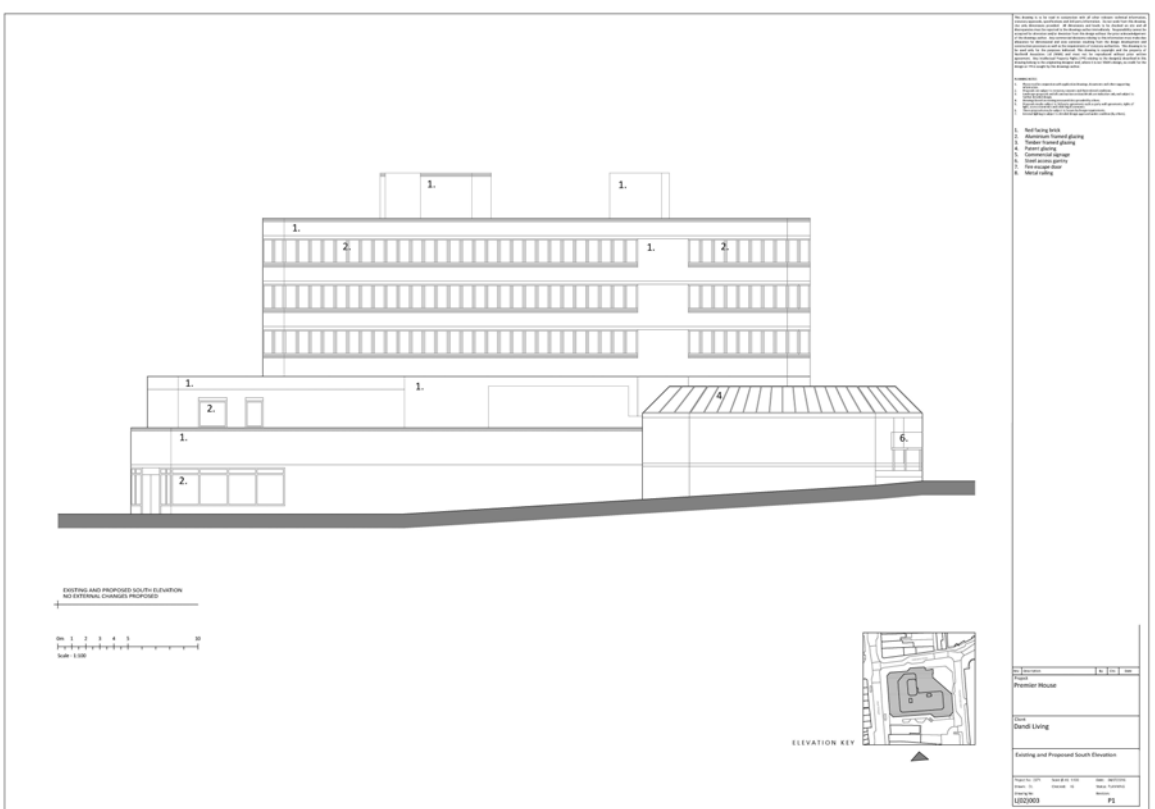
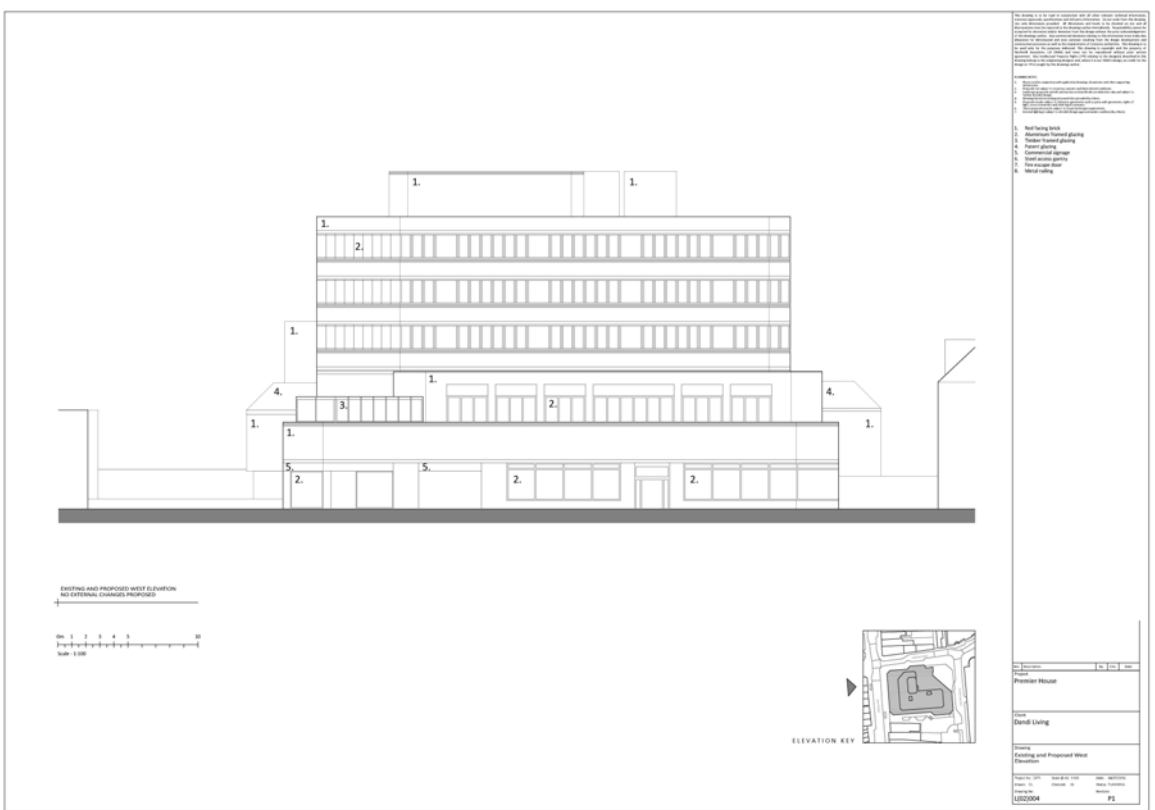
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 - 12 UNIT 12, SINGLE OCCUPANCY
 - 13 UNIT 13, SINGLE OCCUPANCY
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 - 16 UNIT 16, SINGLE OCCUPANCY
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 - 18 UNIT 18, SINGLE OCCUPANCY
 - 19 UNIT 19, SINGLE OCCUPANCY
 - 20 UNIT 20, SINGLE OCCUPANCY
 - 21 UNIT 21, SINGLE OCCUPANCY
 - 22 UNIT 22, SINGLE OCCUPANCY
 - M MANAGER
 - SL SHARED LOUNGE/ LIVING
 - LB WALK THROUGH LIBRARY
 - K1 SHARED KITCHEN 1
 - K2 SHARED KITCHEN 2
 - K3 SHARED KITCHEN 3
 - K4 SHARED KITCHEN 4
 - LDR SHARED LAUNDRY
 - CB CLEANING CUPBOARD

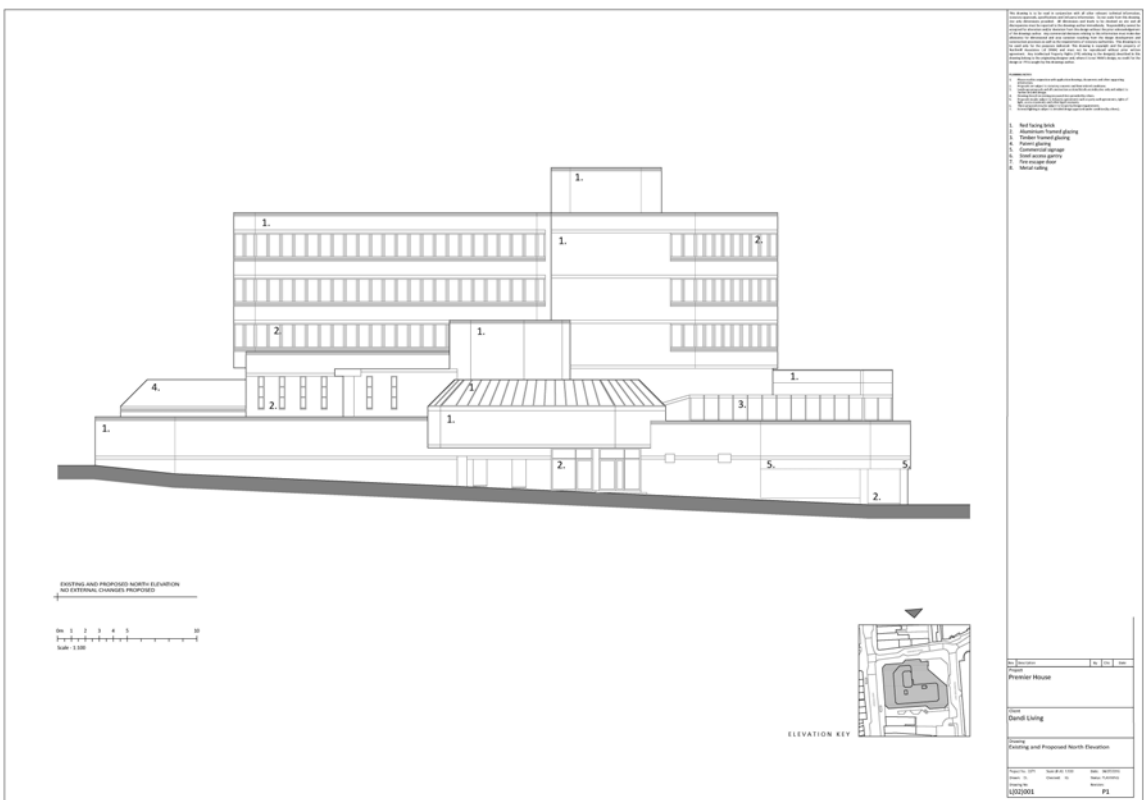
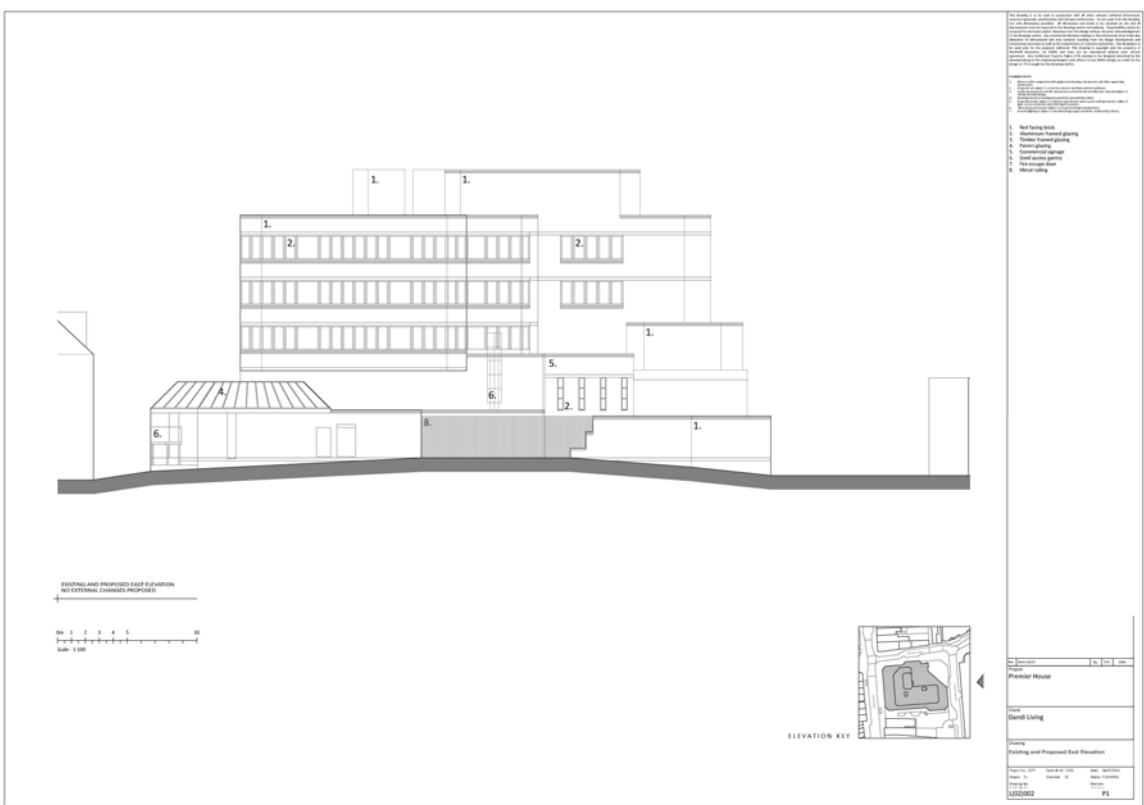


WINDOWS TO BE DECEASED WITH SECURITY FILM INTERNALLY TO PREVENT OVERLOOKING

- OUTLINED AREA IS SUBJECT OF THIS APPLICATION
- HATCHED AREA NOT SUBJECT OF THIS APPLICATION
- PROPOSED THIRD FLOOR

SCALE:
0 1 2 3 10m





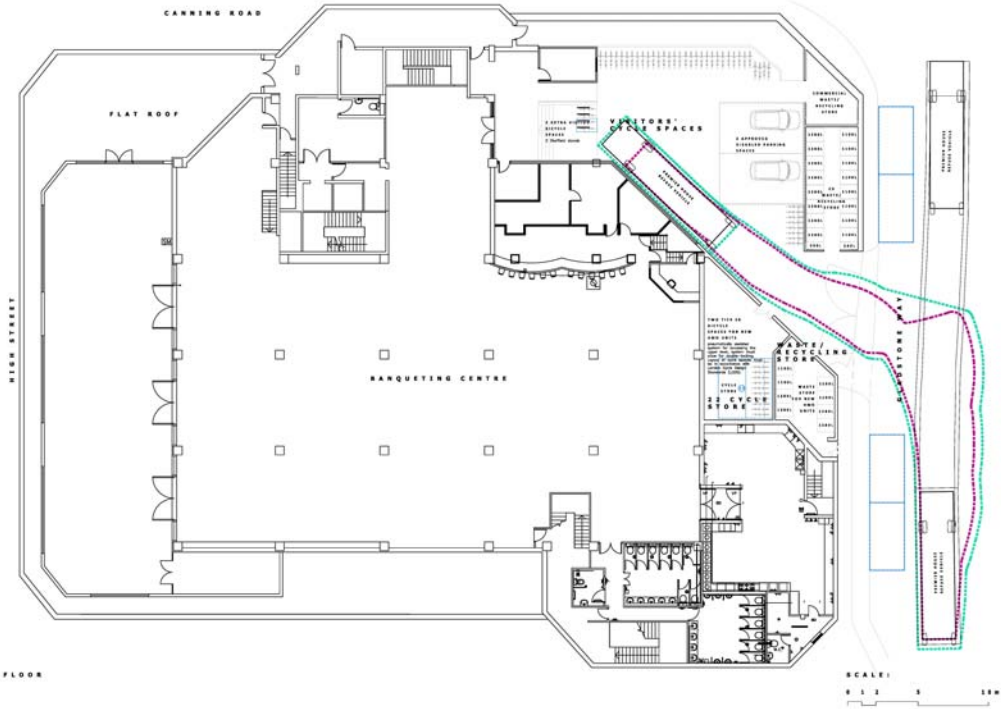
PROJECT DESCRIPTION
 CONVERSION OF D1 TO SU1 GENERIS
 LOCAL AUTHORITY
 London Borough of Harrow

PHASE OF PROJECT
 Date: June/ 2017
 STATUS:
 P L A N N I N G

PROJECT TITLE
 PREMIER HOUSE
 PROJECT ADDRESS
 1 CANNING ROAD HARROW HA3 7TS

DRAWING TITLE
 PROPOSED FIRST FLOOR PLAN
 DRAWINGS SCALE
 1:1000 A3
 DRAWINGS NUMBER
 801/111 Rev A

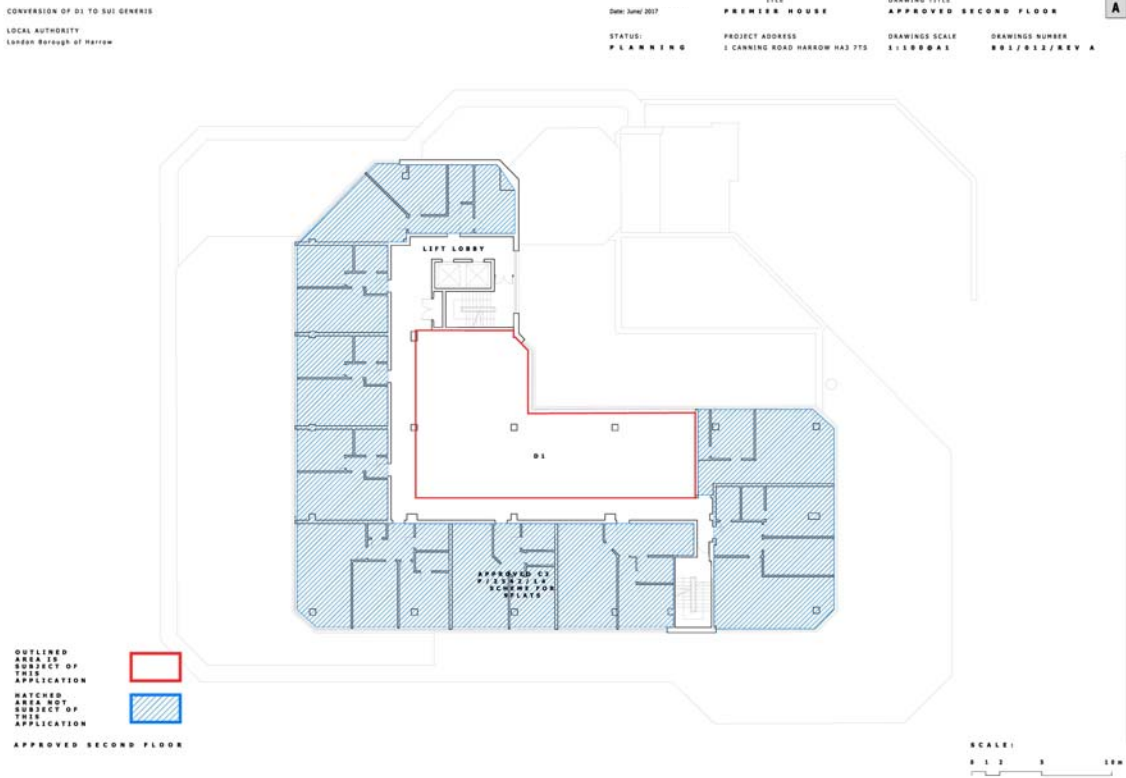
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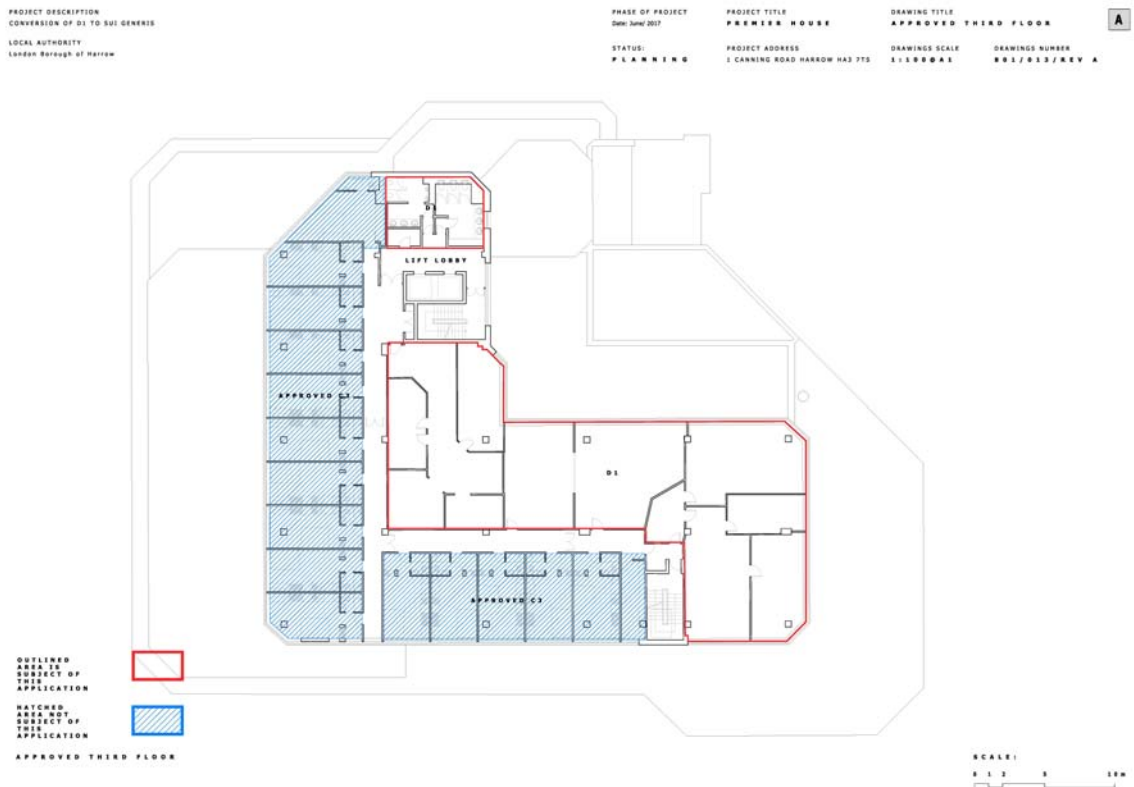
PROPOSED FIRST FLOOR

APPENDIX 5: Floor Plans of Approved Residential Uses

Second Floor: Application P/2542/14



Third Floor: Application P/1727/17/Prior



Fourth Floor: Application P/1727/17/Prior

PROJECT DESCRIPTION
CONVERSION OF D1 TO SUI GENERIS

LOCAL AUTHORITY
London Borough of Harrow

PHASE OF PROJECT
Date: June/2017

STATUS:
P L A N N I N G

PROJECT TITLE
PREMIER HOUSE

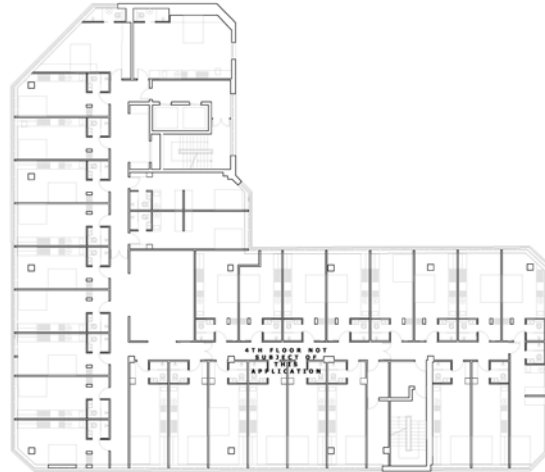
PROJECT ADDRESS
1 CANNING ROAD HARROW HA3 7TS

DRAWING TITLE
APPROVED FOURTH FLOOR
NO CHANGES PROPOSED

DRAWINGS SCALE
1:1000 A1

DRAWINGS NUMBER
R01/014REV.A

A



APPROVED FOURTH FLOOR
NOT SUBJECT OF THIS APPLICATION, NO CHANGES PROPOSED

SCALE: 1:1000 A1

Fifth Floor: Application P/0120/17

PROJECT DESCRIPTION
CONVERSION OF D1 TO SUI GENERIS

LOCAL AUTHORITY
London Borough of Harrow

PHASE OF PROJECT
Date: June/2017

STATUS:
P L A N N I N G

PROJECT TITLE
PREMIER HOUSE

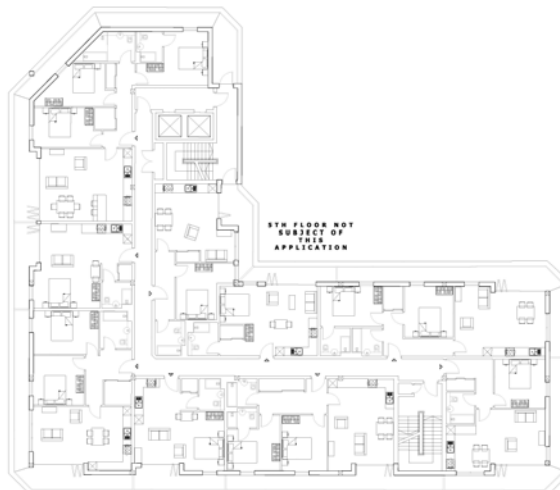
PROJECT ADDRESS
1 CANNING ROAD HARROW HA3 7TS

DRAWING TITLE
APPROVED FIFTH FLOOR
NO CHANGES PROPOSED

DRAWINGS SCALE
1:1000 A1

DRAWINGS NUMBER
R01/115 REV.A

A



APPROVED FIFTH FLOOR
NOT SUBJECT OF THIS APPLICATION, NO CHANGES PROPOSED

SCALE: 1:1000 A1

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